



## Town of Shelter Island Zoning Board of Appeals Application

TAX MAP NUMBER 700-05-05-01

Address of Subject Property: 12 Spring Garden Ave.

1. APPLICANT - **Applicant must be a party in interest**

NAME: Christian Fokine

COMPANY NAME (if applicable) Fokine Construction

ADDRESS: P.O. Box 477, 59B N. Midway Rd.  
Shelter Island, NY 11964

E-MAIL ADDRESS: fokinebuild@hotmail.com PHONE: 631-749-2130

2. OWNER(S) - **All owners on the current deed.**

NAME: Lois Draegin Cohen

ADDRESS: 321 W. 78<sup>th</sup> St., Apt. 3-D, New York, NY 10024

NAME: David Cohen

ADDRESS: 321 W. 78<sup>th</sup> St., Apt. 3-D, New York, NY 10024

3. Are there any **Violations** or **Notices of Violation** outstanding on this property?

YES /  NO (Circle)

If yes, attach copies.

**NOTE:** A Special Use Permit is NOT the same as a USE VARIANCE. Special Use applications must comply with the conditions of §133-34 of the Town Code of the Town of Shelter Island.

**Please refer to the Letter of Denial when distinguishing between if you need a Variance or a Special Permit.**

4. Property Description from the Letter of Denial from the Town of Shelter Island

Building Department: (Attach copy of the Letter of Denial)

The pre-existing, nonconforming Victorian residence circa 1880 which consisted of kitchen, 2-1/2 baths, 3 bedrooms, 0 fireplace, oil hot air heat & partial basement (1<sup>st</sup> fl. 1255 sq. ft. & 2<sup>nd</sup> fl. 875 sq. ft.), covered porch (378 sq. ft.) and an upper second porch were constructed circa 1900. A carport (150 sq. ft.) was constructed circa 1930

5. Is the property within one mile of a nuclear plant or airport or within 500 feet of:

(a) the boundary of any existing or proposed county, state or federal park or other recreation area, (b) the right-of-way of any existing or proposed county or state parkway, thruway, expressway, road or highway, (c) existing or proposed right-of-way of any stream or drainage channel owned by the county or for which the county has established channel lines, (d) the existing or proposed boundary of any other county, state or federally-owned land or (e) the boundary line of any village or town?

Yes \_\_\_\_\_ No X

6. Located in Zone District designated as: Zone AA Revert to A  
(This should be specified on your Building Department Letter of Denial)

7. Previous appeals. Please check one.

( ) A previous appeal has been made dated \_\_\_\_\_  
ZBA#(s) \_\_\_\_\_

(X) A previous appeal has not been made with respect to this denial of the Building Inspector or with respect to this property.

8. Reason for Appeal to change present status: Please fill out and attach a VARIANCE answer sheet if you are seeking a VARIANCE, since it explains what you need to prove to the Zoning Board to get the variance. If you are filing an APPEAL or SPECIAL PERMIT application; please insert your reasons here:

See Variance answer sheet included.

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9. Names and addresses of all owners of real property within a radius of 200 feet.  
(ATTACH ON SEPARATE SHEET OF PAPER)

10. Indicate value of project requiring variance:

\$ 125,000.<sup>00</sup>

**I hereby affirm that to the best of my knowledge the list of property owners presented with this application is accurate and that all statements herein are true. By signing this form I authorize town staff and Zoning Board members to enter onto my property to perform an on-site inspection of the changes I am applying for.**



Lois Draegin Cohen

Signature(s) of Owner(s). Print name(s) below Signature of Applicant. Print name below.

**FOR OFFICE USE ONLY**

I, Clerk of the Zoning Board of Appeals, do hereby affirm that legal notices of the hearing have been published in the official Town Paper(s) on \_\_\_\_\_.

Date: \_\_\_\_\_ Clerk of the Zoning Board of Appeals

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

# FOKINEConstruction

Post Office Box 477  
Shelter Island, New York 11964  
Tel. 631-749-2130, Fax. 631-749-3510  
www.FokineBuild.com

7/27/16

## Owners of Real Property within 200 foot radius of 12 Spring Garden Ave.

<u>Name</u>	<u>Address</u>	<u>SCTM</u>
Andrew M Chapman	307 Forest Dr S	5-2-9
Lise A Pfeiffer	Short Hills, NJ 07078	5-2-10
Case Clifford	53 E 96th St Apt 5A	5-2-11
Karen Dubno	New York, NY 10128	
Samson Mallory LaBob, Inc.	81 Newtown Ln PO Box 351 East Hampton, NY 11937-0351	5-2-18
Kathryn A O'Hagan	PO Box 244 Shelter Island Hgts., NY 11965-0244	5-2-19
William Winship	PO Box 892	5-2-20
Judith Winship	Shelter Island Hgts., NY 11965-0892	
Douglas Broder	PO Box 1130	5-2-21
Northey R Broder	Shelter Island Hgts., NY 11965-1130	
S I Hts Property Owners Corp.	PO Box 589 Shelter Island Hgts., NY 11965-0589	5-4-17, 5-6-3 5-6-4.1, 5-6-4.2
Jeanne K Markey	1034 Cox Ave	5-4-18
Richard C Markey	Washington Crossing, PA 18977	
Peter Pettibone	1158 Fifth Ave	5-4-19
Jean Pettibone	New York, NY 10029	
Christopher P Mulligan III	PO Box 425	5-4-23
Sarah E Sherwood	Shelter Island Hgts., NY 11965-0425	
William Lenderking	PO Box 67	5-4-24
Susan Lenderking	Shelter Island Hgts., NY 11965-0067	
Del R Bryant	2019 Old Hillsboro Rd	5-4-25
Carolyn S Bryant	Franklin, TN 37064-9541	
Jonathan Estreich	370 7th Ave Ste 512	5-5-4
Curran Estreich	New York, NY 10001-0019	

# FOKINEConstruction

Post Office Box 477  
Shelter Island, New York 11964  
Tel. 631-749-2130, Fax. 631-749-3510  
www.FokineBuild.com

<u>Name</u>	<u>Address</u>	<u>SCTM</u>
Howard K Hamm, Jr. 2013 Rev. Trust	235 E 22nd St Apt 13-E New York, NY 10010	5-5-8
Peter B Dinkel Kathryn H Dinkel	15 Saries Ln Pleasantville, NY 10570	5-5-9.1
Chequit House, LLC	PO Box 346 Shelter Island Hgts., NY 11965-0346	5-5-10 5-5-13.1
T-JAMS, LLC	PO Box 1150 Shelter Island Hgts., NY 11965-1150	5-5-25
James W Eklund Linda C Eklund	PO Box 238 Shelter Island Hgts., NY 11965-0238	5-5-26
S S O Realty Corp.	PO Box 1163 Shelter Island Hgts., NY 11965-1163	5-5-27
Yvonne Wibbe	PO Box 376 Shelter Island Hgts., NY 11965-0376	5-6-2

# Zoning Board of Appeals

## Answer Sheet for Applicants

### Seeking an Area Variance

New York State TOWN LAW §267-1(b) states:

“‘Area variance’ shall mean the authorization by the zoning board of appeals for the use of land in a manner which is not allowed by the dimensional or physical requirements of the applicable zoning regulations.”

New York State TOWN LAW §267-b(3)b states that the Zoning Board must answer the following questions in order to give you your variance. Help convince them by answering the following questions if you are seeking an AREA VARIANCE:

(1) Will giving you a variance cause an undesirable change in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance? Why not?

Both the addition of an entry porch w/ balcony above and enclosing the car port will restore the look of this house to the character of the neighborhood. The small addition to the south will neither be visible nor be detrimental to the adjacent property.

(2) Can the benefit you seek from this variance be achieved by some other method? What other methods have you considered and why won't they work?

Due to the size of the lots and the AA zone setback requirements, there is no other method to achieve these benefits.

(3) How substantial is the variance you request from what the law allows?

The variance is not substantial and not unusual. The current front yard setback is 16.6' where we would add a 6' deep entry porch. The carport footprint has been in place since ~1930. And the 4' addition to the south does not extend beyond the current 4'4" setback.

(4) Will the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district? Why or why not?

No. This is a pre-existing development with no sensitive environment.

(5) How did you get yourself into a situation where you need a variance? Was it a self-created problem? (This consideration is relevant to the decision of the board of appeals, but does not necessarily preclude the granting of the area variance).

Problem is not self-created. Building is  
pre-existing nonconforming.

It would be beneficial to your case to secure a letter in support from neighbors of adjoining properties.

If the variance request is substantial or unusual, please be prepared to present examples of similar situations in your neighborhood in the form of photos and/or prior ZBA decisions.

**OWNER'S ENDORSEMENT (TO BE SIGNED IF APPLICANT IS NOT THE OWNER)**

STATE OF NEW YORK )

) ss.:

COUNTY OF SUFFOLK )

Lois Draegin Cohen, being duly sworn, deposes and says:  
I reside at 321 W. 78<sup>th</sup> St., Apt. 3-D, New York, NY 10024,  
in the County of New York and the State of New York, and I am the  
(owner in fee) (officer of the Corporation which is the owner in fee) of the premises described in  
the foregoing and that I have authorized  
Christian Fokine of Fokine Construction to make the  
foregoing application as described herein.

Lois Draegin Cohen  
Signature

\_\_\_\_\_  
Signature

\_\_\_\_\_  
If Corporation, name of Corporation

\_\_\_\_\_  
Officer's Title

Sworn to before me this 26<sup>th</sup>  
day of July, 2016

Donna W. Molin  
Notary Public

Donna W. Molin  
Notary Public State of New York  
Qualified in Suffolk County  
Commission Expires ~~08-03~~ 11-17-18

**DISCLOSURE  
CERTIFICATION  
To be Signed by Applicant(s)**

STATE OF NEW YORK)  
COUNTY OF SUFFOLK) SS.:

Christian Fokine, being by me duly sworn, deposes and says:

1. I am interested in an application for a special permit from the Town Board of the Town of Shelter Island.

2. I reside at 59 B N. Midway Rd., Shelter Island, NY 11964.

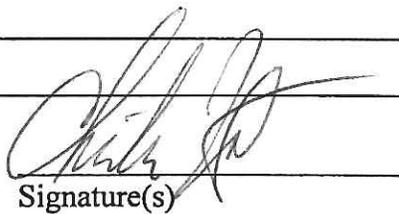
3. The nature of my interest in the aforesaid application is as follows (owner, employee, representative, etc.):

Representative

4. It is my understanding that the Town Board of the Town of Shelter Island has determined that public policy requires a full, frank and complete disclosure of all persons having an interest, direct or indirect, in all applications to the Town Board and other agencies of the Town, to insure that no question of conflict of interest or favoritism may arise.

5. To the best of my knowledge, information and belief, no Town of Shelter Island officer or employee involved in this application process has an interest in this application, except as set forth below (specify any financial interest, familial relationship, etc.):

None

  
Signature(s)

Christian Fokine

Sworn to before me this  
24<sup>th</sup> day of July, 2016

Donna W. Molin  
Notary Public

Donna W. Molin  
Notary Public State of New York  
Qualified in Suffolk County  
Commission Expires ~~06-08-11-17-19~~

**Zoning Board of Appeals  
CERTIFICATION**  
To be Signed by Applicant(s)/Owner

STATE OF NEW YORK)  
COUNTY OF SUFFOLK) SS:

Lois Draegin Cohen, being by me duly sworn, deposes  
and says:

1. I am interested in an application for a variance or special exception with the Town of Shelter Island Zoning Board of Appeals,
2. I reside at 12 Spring Garden Ave.
3. The nature of my interest in the aforesaid application is as follows: Owner
4. It is my understanding that the Shelter Island Town Board has determined that public policy requires a full, frank and complete disclosure of all persons having an interest, direct or indirect, in all applications to the Shelter Island Zoning Board of Appeals and other agencies of Town Government, to insure that no question of conflict of interest or favoritism may arise.
5. To the best of my knowledge, information and belief, there are no other persons, firms or corporations interested in this application, except as hereafter set forth (If either Corporation or Company, etc., list all officers): None

Sworn to before me this  
12 day of July, 2016  
Donna W. Molin  
Notary Public

Donna W. Molin  
Notary Public State of New York  
Qualified in Suffolk County  
Commission Expires ~~02-03~~ 11-17-18

Lois Draegin Cohen  
Signature(s)  
Lois Draegin Cohen  
Please print name(s)



Town of Shelter Island  
P.O. Box 970  
38 North Ferry Road  
Shelter Island, NY 11964

Tel. (631)749-0291 ex. 2016  
Fax (631)749-0728

Mr. & Mrs. David Cohen  
321 W 78<sup>th</sup> Street  
Apt 3D  
New York NY 10024

June 24, 2016

RE: 12 Spring Garden Ave, Shelter Island Heights, NY 11965  
SCTM: 700/05/05/01 Zone AA Revert to A

Dear Mr. & Mrs. Cohen,

We have reviewed your Building Permit application, survey and plans for multiple additions to include a front entry with balcony above, enclosure of existing carport for entry, mudroom, laundry and new L shaped addition.

At this time, no building permit can be obtained without multiple variances from the ZBA. The current existing Front yard setback is 16.6'. The proposed front entry with balcony above indicates a varying Front yard setback from 11.3' to 12.3'. The current Zoning Front yard setback would require a variance varying from 27.7' to 28.7'.  
Section 133.6 (5) (a): Front setback: 40' for all structures.

The proposed enclosure or existing carport to entry, mudroom and laundry as well as the proposed new L shaped addition indicates a varying Side yard setback from 4.6' to 5.2'. The current Zoning Side yard setback would require a variance varying from 19.8' to 20.4'.  
Section 133-6 (5) (b): Principle Buildings and accessory apartments



No Consideration

**THIS INDENTURE**, made the 11th day of June, nineteen hundred and ninety-seven, BETWEEN TAMRA C. STOLLER, residing at 7 Waterview Drive, Port Jefferson, New York 11777,

as executor of the last will and testament of MINNIE M. COHEN a/k/a MINNIE COHEN, late of Suffolk County, New York,

who died on the 17th day of August, nineteen hundred and ninety-six, party of the first part, and DAVID J. COHEN and LOIS DRAEGIN, his wife, both presently residing at 321 West 78th Street, Apartment 3D, New York, New York 10024,

party of the second part,

**WITNESSETH**, that whereas letters testamentary were issued to the party of the first part by the Surrogate's Court, County, New York, on \_\_\_\_\_ of the power and authority given in and by said last will and testament, and/or by Article 11 of the Estates, Powers and Trusts Law, and in consideration of Ten Dollars (\$10.00) - - - - -

paid by the party of the second part, does hereby grant and release unto the party of the second part, the distributees or successors and assigns of the party of the second part forever,

**ALL** that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Shelter Island, County of Suffolk and State of New York, known and designated as Lots 220 to 223, inclusive, on a certain map entitled, "Map of Shelter Island Grove and Camp Meeting Association", and filed in the Office of the Clerk of the County of Suffolk on November 1, 1880, as Map No. 166.

**TOGETHER WITH** all the right, title and interest of the party of the first part in and to the land lying in and forming the alley adjoining and abutting said lots as laid down on said map to the center line thereof, said portion of said alley being 10 feet in width and the entire alleyway lying between said lots.

**BEING AND INTENDED TO BE** the same premises conveyed by Deed dated 1 November 1972, recorded in the Suffolk County Clerk's Office on 8 November 1972, in Liber 7278, at Page 74.

This is a Turnover Deed.

LOT: 001.000

BLOCK: 0005

SECTION: 005.000

DISTRICT: 0700

DISTRICT	SECTION	BLOCK	LOT
0700	00500	0500	001000

LEGIBILITY POOR FOR MICROFILM

**TOGETHER** with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; **TOGETHER** with the appurtenances, and also all the estate which the said decedent had at the time of decedent's death in said premises, and also the estate therein, which the party of the first part has or has power to convey or dispose of, whether individually, or by virtue of said will or otherwise; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the distributees or successors and assigns of the party of the second part forever.

**AND** the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been incumbered in any way whatever, except as aforesaid.

Subject to the trust fund provisions of section thirteen of the Lien Law. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires. **IN WITNESS WHEREOF**, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF: Tamra C. Stoller L.S.  
Tamra C. Stoller, as Executrix

**RECORDED** AUG 4 1997 EDWARD P. ROMAINE CLERK OF SUFFOLK COUNTY

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

No Consideration  
THIS INDENTURE, made the 11th day of June, nineteen hundred and ninety-seven,  
BETWEEN TAMRA C. STOLLER, residing at 7 Waterview Drive, Port Jefferson, New York 11777,

as executor of the last will and testament of  
MINNIE M. COHEN a/k/a MINNIE COHEN, late of  
Suffolk County, New York,  
who died on the 17th day of August, nineteen hundred and ninety-six,  
party of the first part, and DAVID J. COHEN and LOIS DRAEGIN, his wife,  
both presently residing at 321 West 78th Street, Apartment 3D,  
New York, New York 10024,

party of the second part,

WITNESSETH, that whereas letters testamentary were issued to the party of the first part by the Surrogate's Court, County, New York, on \_\_\_\_\_ and by virtue of the power and authority given in and by said last will and testament, and/or by Article 11 of the Estates, Powers and Trusts Law, and in consideration of Ten Dollars (\$10.00) — — — — —

paid by the party of the second part, does hereby grant and release unto the party of the second part, the distributees or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Shelter Island, County of Suffolk and State of New York, known and designated as Lots 220 to 223, inclusive, on a certain map entitled, "Map of Shelter Island Grove and Camp Meeting Association", and filed in the Office of the Clerk of the County of Suffolk on November 1, 1880, as Map No. 166.

TOGETHER WITH all the right, title and interest of the party of the first part in and to the land lying in and forming the alley adjoining and abutting said lots as laid down on said map to the center line thereof, said portion of said alley being 10 feet in width and the entire alleyway lying between said lots.

BEING AND INTENDED TO BE the same premises conveyed by Deed dated 1 November 1972, recorded in the Suffolk County Clerk's Office on 8 November 1972, in Liber 7278, at Page 74.

This is a Turnover Deed.

DISTRICT:  
0700  
SECTION:  
005.000  
BLOCK:  
0005  
LOT:  
001.000

LEGIBILITY POOR  
FOR MICROFILM

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof; TOGETHER with the appurtenances, and also all the estate which the said decedent had at the time of decedent's death in said premises, and also the estate therein, which the party of the first part has or has power to convey or dispose of, whether individually, or by virtue of said will or otherwise; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the distributees or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been incumbered in any way whatever, except as aforesaid.

Subject to the trust fund provisions of section thirteen of the Lien Law.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.  
IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF: \_\_\_\_\_ L.S.  
Tamra C. Stoller, as Executrix

RECORDED AUG 4 1997 EDWARD P. ROMAINÉ



L/P# **11844** P# **457**  
 Number of pages 3  
 Serial # \_\_\_\_\_  
 Certificate # \_\_\_\_\_  
 Prior Cl# \_\_\_\_\_

RECEIVED  
 \$ \_\_\_\_\_  
 REAL ESTATE  
 AUG 04 1997  
 TRANSFER TAX  
 SUFFOLK  
 COUNTY

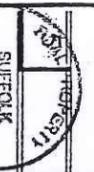
002973  
 00297  
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 EDWARD P. ROMANE  
 CLERK OF  
 SUFFOLK COUNTY  
 RECORDED

Deed / Mortgage Instrument

Deed / Mortgage Tax Stamp

Recording / Filing Stamps

Page / Filing Fee 9.  
 Landing \_\_\_\_\_  
 TP-584 \_\_\_\_\_  
 Notation \_\_\_\_\_  
 EA-5217 (County) 5. Sub Total \_\_\_\_\_  
 EA-5217 (State) 45. Sub Total \_\_\_\_\_  
 R.P.T.S.A. 15.00  
 Comm. of Ed. 5.00  
 Affidavit \_\_\_\_\_  
 Certified Copy \_\_\_\_\_  
 Reg. Copy \_\_\_\_\_  
 Other \_\_\_\_\_  
 Sub Total 4/5  
 GRAND TOTAL 67.



Real Property Tax Service Agency Verification

Dist	Section	Block	Lot
0700	005.00	05cxd	001.000

7 FEE PAID BY: Cash  Check  Charge \_\_\_\_\_  
 Payer same as R & R

LAWRENCE M. KENNEY, ESQ.  
 Devitt, Spellman, Barrett, Callahan, Leyden  
 & Kenney, LLP  
 50 Route 111, Suite 314  
 Smithtown, NY 11787

RECORD & RETURN TO  
 (ADDRESS)

## Suffolk County Recording & Endorsement Page

This page forms part of the attached \_\_\_\_\_ Deed \_\_\_\_\_ made by: \_\_\_\_\_  
 (Deed, Mortgage, etc.)

Tamra C. Stoller, as Executrix of the Last  
 Will & Testament of Minnie M. Cohen, a/k/a  
 Minnie Cohen

The premises herein is situated in  
 SUFFOLK COUNTY, NEW YORK.

David J. Cohen TO In the TOWN of SHELTER ISLAND

In the VILLAGE of HANLERT of SHELTER ISLAND HEIGHTS  
 EDWARD P. ROMANE  
 CLERK OF SUFFOLK COUNTY

RECORDED

AUG 4 1997





**TOWN OF SHELTER ISLAND**  
38 North Ferry Road, P.O. Box 970  
Shelter Island  
New York 11964

Reed Karen: Building Inspector  
J. Chris Tehan: Building Inspector

Tel. (631) 749-0772  
Fax (631) 749-9305

**BUILDING DEPARTMENT**  
**CERTIFICATE OF COMPLIANCE**

**July 26, 2016**

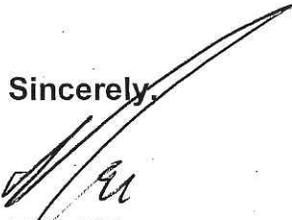
Mr. David J. Cohen  
Ms. Lois Dragin  
12 Spring Garden  
Shelter Island, NY 11964

Dear Mr. Cohen & Ms. Dragin,

The building on the property of Cohen-Dragin, located 12 Spring Garden Ave., Shelter Island, New York and identified as Suffolk County Tax Map #0700/005/005/001 were built prior to the adoption of the Shelter Island Zoning Ordinance. As this structure pre-exist our Zoning Ordinance, no Certificate of Occupancy has been issued, nor is one needed or necessary.

This certificate pertains to the original existing single family, two-story dwelling with first floor screened front porch, second floor screened porch and a carport.

Sincerely,

  
Reed Karen,  
Building Inspector

TOWN OF SHELTER ISLAND  
38 NORTH FERRY ROAD, PO BOX 970  
SHELTER ISLAND, NY 11964

## CERTIFICATE OF OCCUPANCY

CERTIFICATE NUMBER: 6194

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CERTIFICATE OF OCCUPANCY is hereby granted to Cohen, David J.  
321 78th  
New York, NY

Grid Number: 89/5.-5-1

Property Location: 12 Spring Garden

Zone :

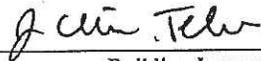
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For:

addition to existing covered porch

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In accordance with PERMIT # 2003-6699 APPLICATION # 6219 issued By  
Town of Shelter Island. Dated Friday, December 16, 2005



Building Inspector, Town of Shelter Island, NY.

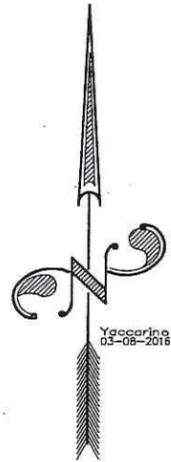
**SURVEY OF PROPERTY  
AT SHELTER ISLAND HEIGHTS  
TOWN OF SHELTER ISLAND  
SUFFOLK COUNTY, N.Y.**

700-05-05-01

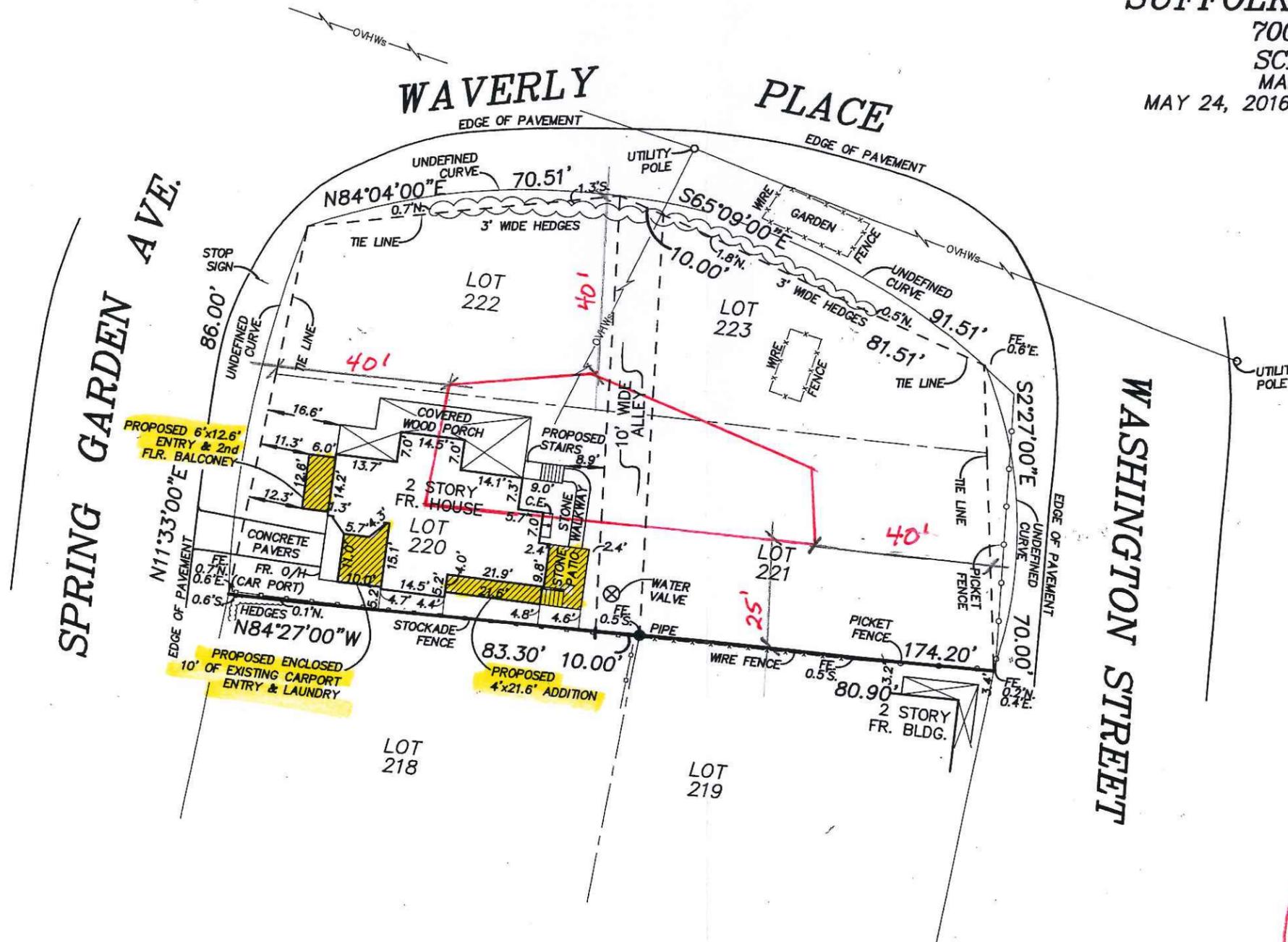
SCALE: 1"=30'

MARCH 14, 2015

MAY 24, 2016 (PROPOSED ADDITIONS)



Ygocarin 03-08-2016



- = MONUMENT
- = PIPE

LOT NUMBERS REFER TO "MAP OF SHELTER ISLAND GROVE ASSOCIATION" FILED IN SUFFOLK COUNTY CLERKS OFFICE AS MAP NO. 571

ANY ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. EXCEPT AS PER SECTION 7209-SUBDIVISION 2. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

**AREA=14,210 SQ. FT.  
TO TIE LINES**



PECONIC SURVEYORS, P.C.  
(631) 765-5020 FAX (631) 765-1797  
P.O. BOX 909  
1230 TRAVELER STREET  
SOUTHOLD, N.Y. 11971

**15-244**

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: <span style="font-size: 1.2em; font-family: cursive;">Cohen improvements</span>							
Project Location (describe, and attach a location map): <span style="font-size: 1.2em; font-family: cursive;">12 Spring Garden Ave., Shelter Island Heights</span>							
Brief Description of Proposed Action: <span style="font-size: 1.2em; font-family: cursive;">To construct the following:</span> <ol style="list-style-type: none"> <li>1. Front entry w/ balcony above</li> <li>2. Enclose carport</li> <li>3. Kitchen addition</li> </ol>							
Name of Applicant or Sponsor: <span style="font-size: 1.2em; font-family: cursive;">Christian Fokine</span>		Telephone: <span style="font-size: 1.2em; font-family: cursive;">631-749-2130</span>					
		E-Mail: <span style="font-size: 1.2em; font-family: cursive;">fokinebuild@hotmail.com</span>					
Address: <span style="font-size: 1.2em; font-family: cursive;">P.O. Box 477, 59B N. Midway Rd</span>							
City/PO: <span style="font-size: 1.2em; font-family: cursive;">Shelter Island</span>		State: <span style="font-size: 1.2em; font-family: cursive;">NY</span>	Zip Code: <span style="font-size: 1.2em; font-family: cursive;">11964</span>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<span style="font-size: 1.2em; font-family: cursive;">14,210</span> acres sq. ft.					
b. Total acreage to be physically disturbed?		<span style="font-size: 1.2em; font-family: cursive;">NA</span> acres <span style="font-size: 1.2em; font-family: cursive;">275</span> sq. ft.					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<span style="font-size: 1.2em; font-family: cursive;">14,210</span> acres sq. ft.					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input type="checkbox"/> Parkland							

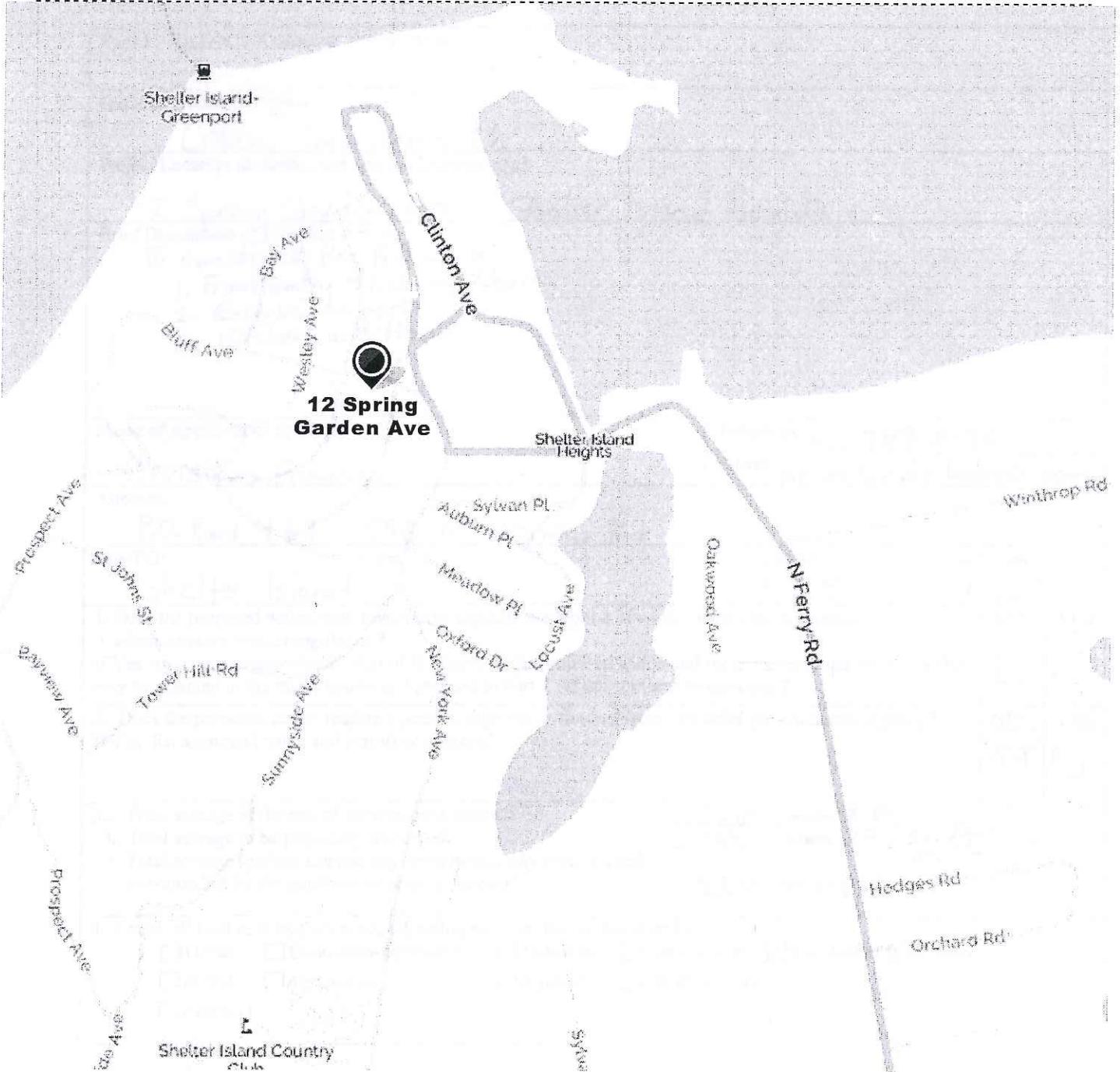
5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES Roof runoff will be diverted to gutter system and drywells			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Christian Fokine</u> Date: <u>7-28-16</u></p> <p>Signature: <u><i>Christian Fokine</i></u></p>		

# Search Results for "12 spring garden ave 11965"

page 1 of 1

- 1. 12 Spring Garden Ave  
12 Spring Garden Ave,  
Shelter Island Heights, NY 11965



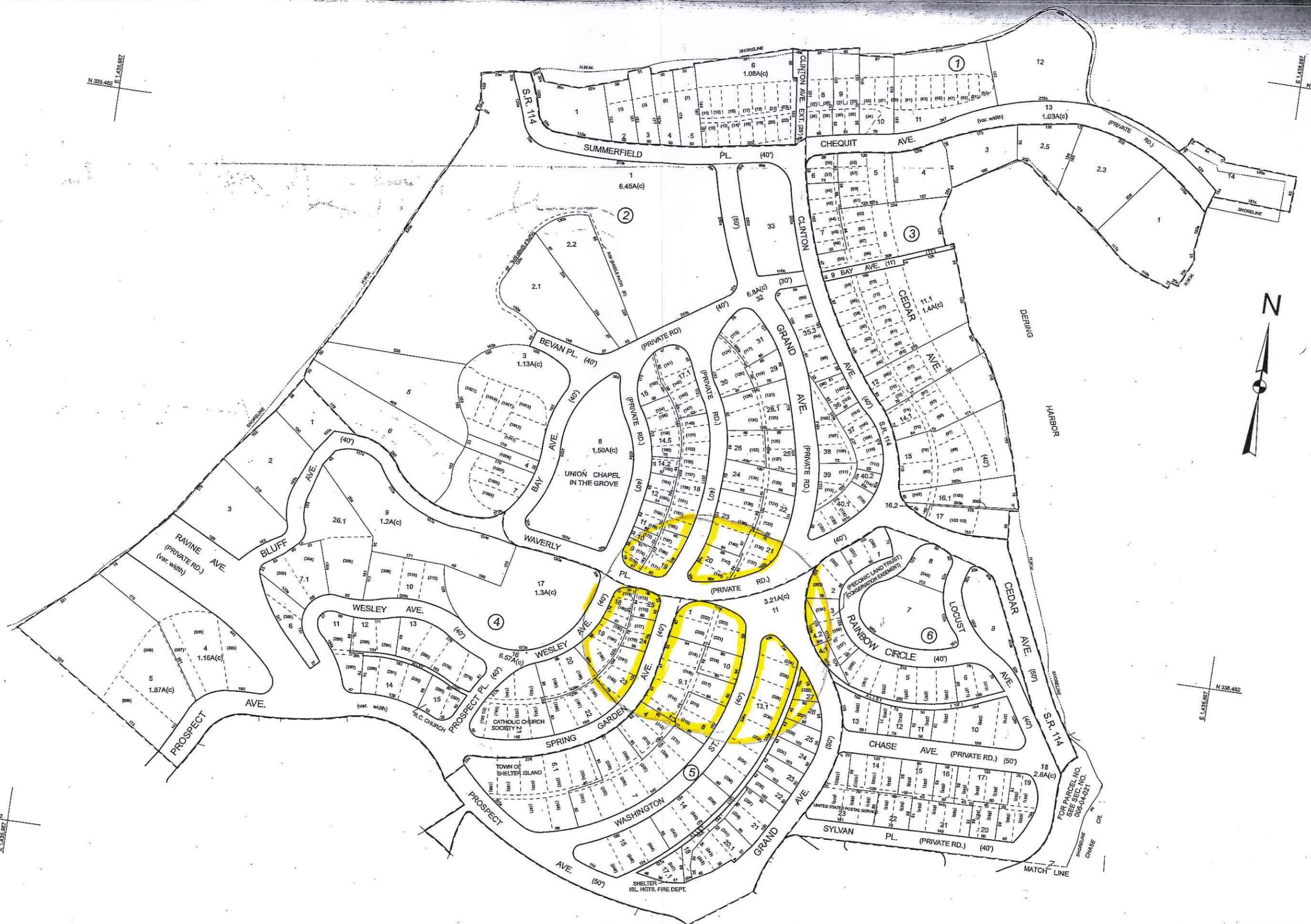
Revisions  
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 01-07-03  
 11-10-05  
 06-20-07  
 05-19-08  
 06-11-08  
 01-28-13  
 03-17-15

N 339.482  
 E 1.435.887

E 1.438.887  
 N 339.882

N 338.482  
 E 1.438.887

N 337.782  
 E 1.435.887



Property or RW Line	—
Denotes Common Owner	— Z —
Subdivision Lot Line	—
Stream / Shore	—
Parcel No.	23

Subdivision Lot No.	07
Subdivision Block/Bldg. No.	(21)
Dead Dimension	—
Scaled Dimension	—
Dead Area	12.1 A(d) or 12.1A
Calculated Area	12.1 A(c)

Block Line	—
Block No.	(2)
County Line	—
Town Line	—
Village Line	—

School District Line	— SCH —
Fire District Line	— F —
Water District Line	— W —
Light District Line	— L —
Party District Line	— P —
Sewer District Line	— S —

Hydrant District Line	— H —
Refuge District Line	— R —
Historical District Line	— HST —
Ambulance District Line	— A —
Wastewater District Line	— WW —

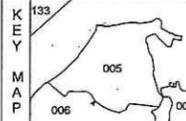
UNLESS DRAWN OTHERWISE, ALL PROPERTIES ARE WITHIN THE FOLLOWING DISTRICTS:

SCHOOL	1	SEWER	—
FIRE	2	HYDRANT	—
LIGHT	—	WATER	—
PARK	—	REFUSE	—
AMBULANCE	—	WASTEWATER	—

**NOTICE**  
 MAINTENANCE, ALTERATION, SALE OR DISTRIBUTION OF ANY PORTION OF THE SUFFOLK COUNTY TAX MAP IS PROHIBITED WITHOUT WRITTEN PERMISSION OF THE REAL PROPERTY TAX SERVICE AGENCY.

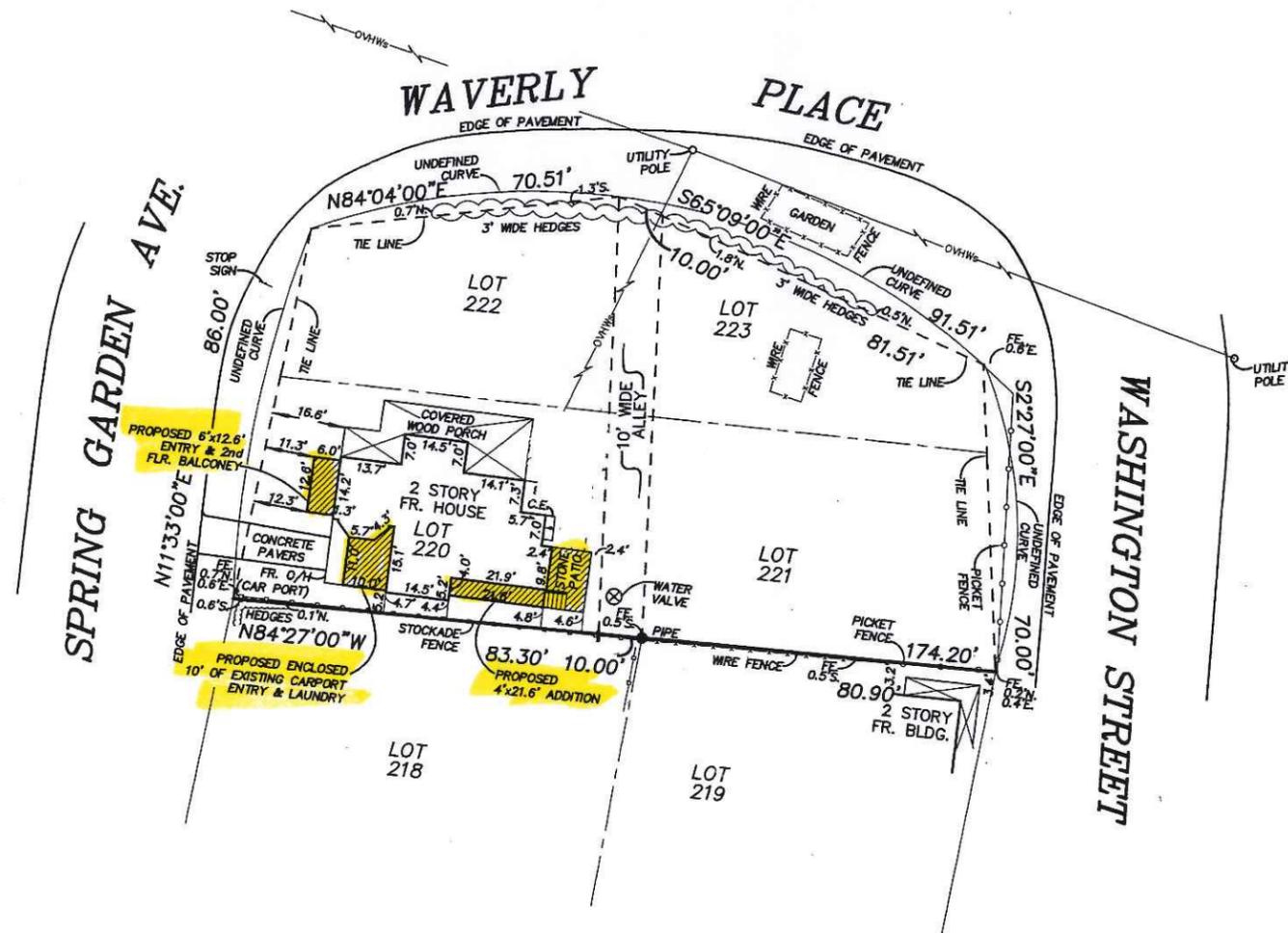
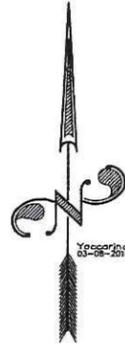


COUNTY OF SUFFOLK  
 Real Property Tax Service Agency  
 County Center Riverhead, N Y 11901  
 SCALE IN FEET: 100 0 100 200



TOWN OF SHELTER ISLAND  
 VILLAGE OF  
 DISTRICT NO 0700

SECTION NO  
**005**  
 PROPERTY MAP



■ = MONUMENT  
● = PIPE

LOT NUMBERS REFER TO "MAP OF SHELTER ISLAND GROVE ASSOCIATION" FILED IN SUFFOLK COUNTY CLERKS OFFICE AS MAP NO. 571

ANY ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. EXCEPT AS PER SECTION 7209-SUBDIVISION 2. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

**AREA=14,210 SQ. FT.  
TO TIE LINES**

N.Y.S. LIC. NO. 49618  
**PECONIC SURVEYORS, P.C.**  
 (631) 765-5020 FAX (631) 765-1797  
 P.O. BOX 909  
 1230 TRAVELER STREET  
 SOUTHOLD, N.Y. 11971 **15-244**

1 Site Plan  
Scale: 1" = 20 ft

DRAWING ISSUE DATES	
Existing Conditions	1/20/16
Progress Set	6/9/16
Permit Set	8/14/16
Construction Set	00.00.0000

REVISION DATES	

**Drawing Legend:**

- Wall To Be Removed
- Wall To Remain
- New Wall
- New Foundation Wall
- Lines Above
- Lines Below
- Guidelines
- Fence
- 101 Door Tag
- 102 Window Tag
- XXX Section X, Sheet A-XXX
- X Detail Tag
- X Elevation Tag
- X Interior Elevation Tag

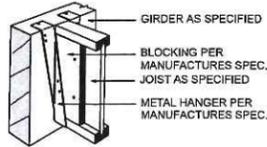
**FOKINEConstruction**  
 Post Office Box 477  
 Shelter Island,  
 New York 11964  
 Tel. 631-749-2130  
 Fax. 631-749-3510  
 www.FokineBuild.com

**COHEN RESIDENCE**  
 12 Spring Garden Avenue  
 Shelter Island, NY 11965

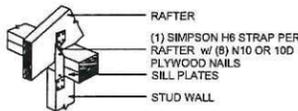
Site Plan  
 Scale: 1/4" = 1'-0"  
 All Drawings Printed on 11x17  
 Paper Scale is 50% Scale Above

**A-001**

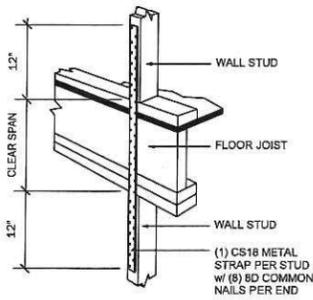
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA AS PER NYS RESIDENTIAL CODE R 301.2.1.1		PRESCRIPTIVE DESIGN WIND LOAD-120 MPH FOR THREE SECOND GUST EXPOSURE ZONE 'B'							
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20	120	B	SEVERE	36" (TOP)	M to H	S to M	11	YES	1984/1998



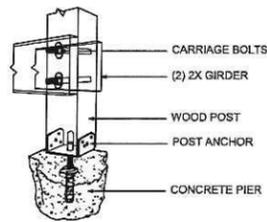
Typical Joist Hanger  
Not To Scale



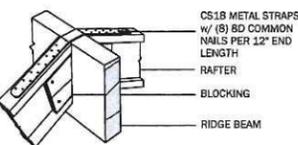
Rafter/Plate/Stud Connection  
Not To Scale



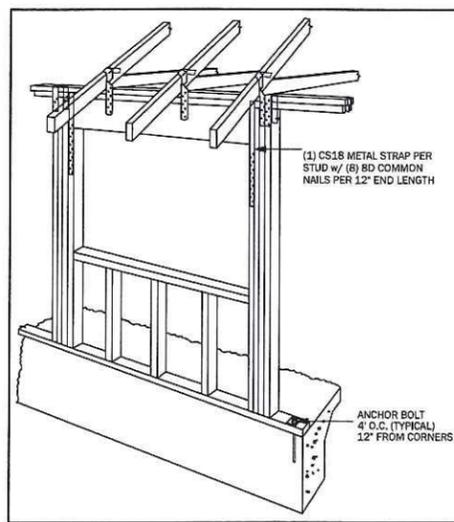
Stud Straps @ Second Floor Box  
Not To Scale



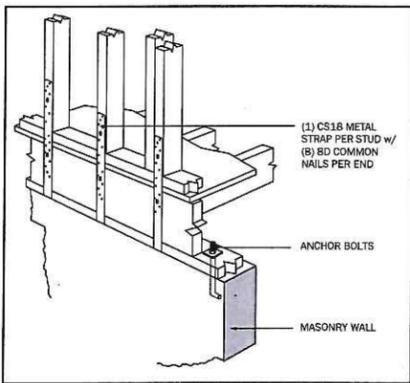
Deck Railing/Post Anchor  
Not To Scale



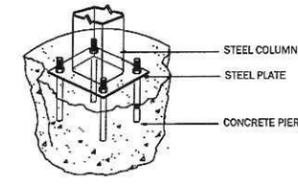
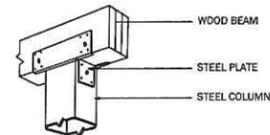
Rafter Straps  
Not To Scale



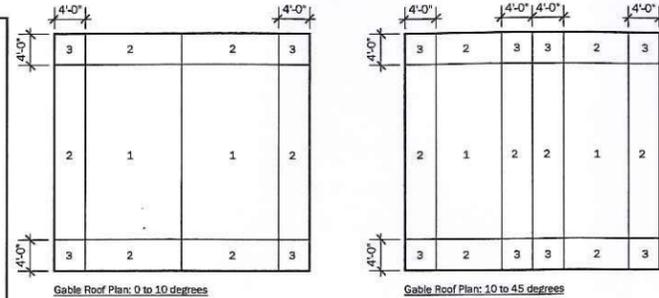
Header & Post Tie Downs  
Not To Scale



First Floor & Sill Anchors  
Not To Scale



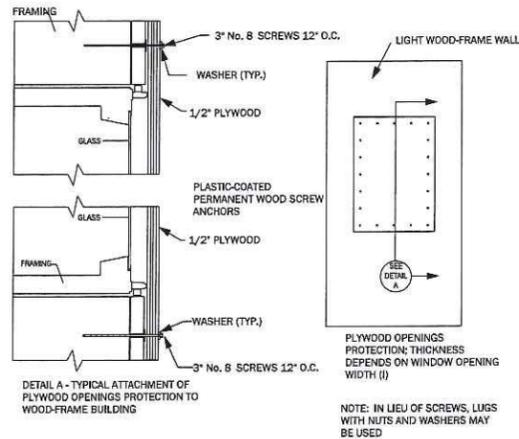
Porch Beam/Column Anchor  
Not To Scale



	Zone 1	Zone 2	Zone 3	Zone 4
FIELD	3" O.C.	12" O.C.	3" O.C.	4" O.C.
EDGE	4" O.C.	6" O.C.	3" O.C.	4" O.C.

ALL 1/2" EXTERIOR PLYWOOD WALL SHEATHING TO BE SECURED WITH 8D COMMON NAILS- 2 1/2" X 10 1/2" GA. PATTERN AS INDICATED ABOVE.  
FOR ADDITIONAL STRUCTURAL NAILING REQUIREMENTS, REFER TO "FASTENING SCHEDULE FOR STRUCTURAL MEMBERS"- NEW YORK STATE CODE BOOK.

Simplified Roof Sheathing Nailing Schedule  
Not To Scale



ALTERNATE TO 120 MPH CERTIFIED WINDOW INSTALLATION PLYWOOD PANEL WINDOW AND DOOR PROTECTION FOR WOOD FRAMED BUILDINGS

Joint Description	Nail Sizes	Nail Spacing
<b>ROOF FRAMING</b>		
Rafter to Top Plate (Toe-nailed)	3 - 8d	per rafter
Ceiling Joist to Top Plate (Toe-nailed)	3 - 8d	per joist
Ceiling Joist to Parallel Rafter (Face-nailed)	3 - 16d	each lap
Ceiling Joist Laps over Partitions (Face-nailed)	4 - 16d	each lap
Collar Tie to Rafter (Face-nailed)	2 - 8d	per tie
Blocking to Rafter (Toe-nailed)	2 - 8d	each end
Rim Board to Rafter (End-nailed)	2 - 16d	each end
<b>WALL FRAMING</b>		
Top Plate to Top Plate (Face-nailed)	2 - 16d	per foot
Top Plates at Intersections (Face-nailed)	4 - 16d	each side
Stud to Stud (Face-nailed)	2 - 16d	24" o.c.
Header to Header (Face-nailed)	1 - 16d	16" o.c. along edges
Top or Bottom Plate to Stud (End-nailed)	2 - 16d	per 2x4 stud
Bottom Plate to Floor Joist, Band Joist, End Joist or Blocking (Face-nailed)	2 - 16d	per 2x6 stud
<b>FLOOR FRAMING</b>		
Joist to Sill, Top Plate or Girder (Toe-nailed)	4 - 8d	per joist
Bridging to Joist (Toe-nailed)	2 - 8d	each end
Blocking to Joist (Toe-nailed)	2 - 8d	each end
Blocking to Sill or Top Plate (Toe-nailed)	3 - 16d	each block
Ledger Strip to Beam (Face-nailed)	3 - 16d	each joist
Joist on Ledger to Beam (Toe-nailed)	3 - 8d	per joist
Band Joist to Joist (End-nailed)	3 - 16d	per joist
Band Joist to Sill or Top Plate (Toe-nailed)	2 - 16d	per foot
<b>ROOF SHEATHING</b>		
Structural Panels	8d	4" o.c. perimeter zone other 6" o.c. interior of panel, 12" o.c. interior of panel
Diagonal Board Sheathing	2 - 8d 3 - 8d	per support per support
<b>Ceiling Sheathing</b>		
Gypsum Wallboard	5d	7" edge / 10" field
<b>WALL SHEATHING</b>		
Structural Panels	8d	(see table 3.9)
Fiberboard Panels	7 / 16" 25 / 32"	6d 8d
Gypsum Wallboard	5d	7" edge / 10" field
Hardboard	8d	(see table 3.9)
Particleboard Panels	8d	(see table 3.9)
Diagonal Board Sheathing	2 - 8d 3 - 8d	per support per support
<b>FLOOR SHEATHING</b>		
Structural Panels	8d 10d	6" edge / 12" field 6" edge / 6" field
Diagonal Board Sheathing	2 - 8d 3 - 8d	per support per support

1 Nailing requirements are based on wall sheathing nailed 6" on-center at the panel edge. If wall sheathing is nailed 3" on-center at the panel edge to obtain higher shear capacities, nailing requirements for structural members shall be doubled, or alternate connectors, such as shear plates, shall be used to maintain the load path.  
2 When wall sheathing is continuous over connected members, the tabulated number of nails shall be permitted to be reduced to 1 - 16d nail per foot.

GENERAL NOTES	
1.	ALL WORK MATERIAL AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM BUILDING CODE, AND THE NEW YORK STATE ENERGY CONSERVATION CODE, AND LOCAL AUTHORITIES.
2.	ALL DIMENSIONS AND GRADE CONDITIONS TO BE VERIFIED BY CONTRACTOR(S) PRIOR TO START OF CONSTRUCTION AND ORDERING OF MATERIALS. THIS FOUNDATION HAS BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF TWO (2) TSF AND GRADES LESS THAN 5%. CONTRACTOR SHALL VERIFY THAT THESE CONDITIONS ARE MET. ALL FILL BENEATH CONCRETE SLABS TO BE COMPACTED TO 95% RELATIVE DENSITY.
3.	PROVIDE FLASHING AT ALL ROOF BREAKS, CHIMNEYS, SKYLIGHTS, EXTERIOR DOORS, WINDOWS AND DECKS ETC.
4.	DO NOT SCALE DRAWINGS.
5.	DESIGN CONSULTANTS OR RECORD ARCHITECT-ENGINEER ARE NOT RESPONSIBLE FOR THE INSPECTOR, SUPERVISION, OR ADMINISTRATION OF THIS CONSTRUCTION PROJECT. FEDERAL, STATE AND LOCAL ZONING AND BUILDING CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6.	THIS DRAWING IS AN INSTRUMENT PREPARED TO FACILITATE CONSTRUCTION AND SHALL NOT BE CONSTRUED AS A CONTRACT BETWEEN BUILDER AND OWNER.
7.	THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CODE.
8.	CONTRACTOR SHALL OBTAIN ALL PERMITS

**FRAMING NOTES:**

THE CONTRACTOR IS TO VERIFY ALL MEASUREMENTS IN THE FIELD AND ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.

**WOOD FRAMING**

1. ALL LUMBER IS TO BE NO. 2 OR BETTER DOUGLAS FIR LARCH (N) WITH THE FOLLOWING MINIMUM SPECIFICATIONS:

FB = 825 PSI  
FV = 95 PSI  
FC PERP = 625 PSI  
E = 1,600,000 PSI

2. ALL LAMINATED VENEER LUMBER IS TO HAVE THE FOLLOWING MINIMUM SPECIFICATIONS:

FB = 2,900 PSI  
FV = 290 PSI  
FC PERP = 650 PSI  
E = 2,000,000 PSI

3. ALL LAMINATED STRUCTURAL LUMBER IS TO HAVE THE FOLLOWING MINIMUM SPECIFICATIONS:

FB = 2,800 PSI  
FV = 290 PSI  
FC PERP = 740 PSI  
E = 2,100,000 PSI

4. ALL TREATED LUMBER IS TO BE NO. 2 OR BETTER SOUTHERN YELLOW PINE WITH THE FOLLOWING MINIMUM SPECIFICATIONS:

FB = 975 PSI  
FV = 175 PSI  
FC PERP = 555 PSI  
E = 1,600,000 PSI

5. ALL BEAMS FABRICATED WITH MULTIPLE LAMINATED VENEER LUMBER BOARDS ARE TO BE NAILED/BOLTED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

6. ALL STRAPS, CONNECTORS, PLATES, BOLTS, NAILS, ETC. ARE TO BE GALVANIZED OR STAINLESS STEEL. DESIGNATED CONNECTORS, STRAP ETC. ON THESE DRAWINGS ARE MADE BY SIMPSON UNLESS INDICATED OTHERWISE. ALL CONNECTORS, STRAPS ETC. ARE TO BE NAILED/BOLTED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.

7. ALL FLOOR SHEATHING IS TO BE 23#32 INCH AC TYPE PLYWOOD, TONGUE AND GROOVE, WITH AN APA SPAN RATING OF 48/24. FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO THE FLOOR JOISTS ( 6" O.C. EDGES AND 12" O.C. FIELD ).

8. ALL WALL SHEATHING IS TO BE 15/32 INCH APA RATED XPOSURE 1 PLYWOOD AND SHALL BE NAILED WITH 10D COMMON NAILS 6" O.C. EDGES AND 12" O.C. FIELD.

9. SOLID BLOCKING IS TO BE INSTALLED EVERY 8" MAX OR MID SPAN OF ALL FLOOR JOISTS WITH SPANS EXCEEDING 8'.

10. DOUBLE JOISTS ARE TO BE INSTALLED BELOW PARALLEL WALLS.

11. BLOCKING IS TO BE INSTALLED AT ALL POINT LOAD BEARING POINTS.

12. WALLS ARE TO BE FRAMED WITH 2X6 INCH STUDS SPACED 16 INCHES O.C. UNLESS INDICATED OTHERWISE.

13. ALL JOIST AND BEAM HANGERS AND FASTENERS USED ON THE EXTERIOR ARE TO BE SIMPSON TYPE 304 OR 316 STAINLESS STEEL.

14. ALL BOLTS NUTS AND WASHERS ARE TO BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

**STEEL**

- ALL STEEL IS TO BE ASTM SPECIFICATION A-36
- ALL BOLTED CONNECTIONS ARE TO BE MADE WITH A-325 BOLTS.
- SQUARE/RECTANGULAR AND CIRCULAR COLUMNS ARE TO BE ASTM SPECIFICATION A500.
- ALL COLUMNS ARE TO BE BOLTED TO STEEL GIRDERS WITH 1/2" BOLTS OR UNLESS OTHERWISE SHOWN ON THE PLANS.
- 1/2" WEB STIFFENERS ARE TO BE INSTALLED AT ALL POINT LOAD BEARING POINTS AND OVER ALL COLUMN SUPPORTS.
- ALL WELDED CONNECTIONS ARE TO BE DONE BY A CERTIFIED WELDER AND CONFORM TO AWS AND AISC STANDARDS.
- ALL WELD JOINTS ARE TO USE E70XX ELECTRODES.
- ALL GIRDER SPLICES ARE TO BE MADE ABOVE COLUMNS.

**FOUNDATION NOTES:**

THE CONTRACTOR IS TO VERIFY ALL MEASUREMENTS IN THE FIELD AND ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.

- ALL CONCRETE 3,500 PSI AFTER 28 DAYS MINIMUM.
- ALL REBAR ASTM A-615 GRADE 60.
- FOOTINGS ARE TO BE INSTALLED ON UNDISTURBED VIRGIN SOIL. THE BOTTOMS OF ALL FOOTINGS ARE TO BE INSTALLED A MINIMUM OF 3" BELOW GRADE UNLESS INDICATED OTHERWISE.
- REBAR INSTALLED ALONG THE TOP OF THE FOUNDATION WALLS WITHOUT WINDOWS ARE TO BE INSTALLED 10" BELOW THE TOP OF THE FOUNDATION WALL. REBAR INSTALLED ALONG THE TOP OF FOUNDATION WALLS WITH WINDOWS ARE TO BE INSTALLED 3" BELOW THE BOTTOM OF THE WINDOW OPENING.
- ALL SNAP OFF FORM TIES ARE TO BE REMOVED AND REMAINING OPENINGS ARE TO BE SEALED/GROUTED.
- THE FOUNDATION CONTRACTOR SHALL COORDINATE WITH THE PLUMBING AND ELECTRICAL CONTRACTORS RELATIVE TO INSTALLATION OF SLEEVES AND OTHER PENETRATIONS PRIOR TO POURING CONCRETE.
- THE ENGINEER IS TO BE CONTACTED IF UNACCEPTABLE OR QUESTIONABLE SOIL IS ENCOUNTERED DURING EXCAVATION. UNACCEPTABLE SOIL IS SOIL CONTAINING CLAY AND/OR ORGANIC MATERIAL.
- INSTALL ISOLATION JOINTS ALONG FOUNDATION WALLS AND AT COLUMN AND OTHER FLOOR PENETRATIONS.
- INSTALLED CONTRACTION JOINTS IN THE CELLAR FLOOR SLAB EVERY 18' MINIMUM.
- FOUNDATION EXCAVATION IS NOT TO BE BACK FILLED PRIOR TO THE INSTALLATION OF THE FLOOR FRAMING.
- BACKFILL ALONG FOUNDATION WALLS IS TO BE CLEAN MATERIAL AND IS TO BE MECHANICALLY COMPACTED IN 6" LIFTS TO 95% OF MAXIMUM DRY DENSITY.
- UNDERPIN EXISTING FOUNDATION. CONNECT EXISTING FOOTING TO NEW FOOTINGS AND WALL TOPS WITH NO.5 REBAR DOWELS.

**SUGGESTED UNDERPINNING PROCEDURES:**

- UNDERPIN PRIOR TO ADDITION OF ANY NEW LOADS ON WALL.
- EXCAVATE SMALL EXPLORATORY PIT AT EXTERIOR WALL TO DETERMINE DEPTH AND WIDTH OF EXISTING FOOTING. INFORM ARCHITECT/ENGINEER OF FINDINGS BEFORE PROCEEDING.
- UPON RECEIVING APPROVAL, EXCAVATE TO THE TOP OF THE EXISTING FOOTING FOR THE ENTIRE LENGTH OF THE AREA TO BE UNDERPINNED ON BOTH SIDES OF THE FOUNDATION WALL. REMOVE INTERIOR CONCRETE FLOOR AS NECESSARY.
- EXCAVATE BY HAND BELOW THE EXISTING FOOTING AT NO MORE THAN 3 FOOT LENGTHS. E) INSTALL A KEY WAY BETWEEN SECTIONS. ALLOW 7 DAYS CURING.
- BACK FILL AND REPLACE INTERIOR FLOOR AS NECESSARY.
- DURING THE UNDERPINNING PROCEDURE, MONITOR THE EXISTING FOUNDATION WALL FOR EXCESSIVE MOVEMENT AND/OR CRACKS. NOTIFY THE ARCHITECT/ENGINEER IF MOVEMENT AND/OR CRACKS ARE NOTED.
- DOWEL TO EXISTING FOUNDATION WALL WITH NO. 5 REBAR. GROUT SOLID ALL CAVITIES IN EXISTING WALL FOR THREE FEET FROM NEW WALL.

VERTICAL RE-BAR IN POURED CONCRETE FOUNDATION AS FOLLOWS:  
8'-0" H. FDTN. WALL - #5 REBAR @ 48" O.C.  
9'-0" H. FDTN. WALL - #5 REBAR @ 48" O.C.  
10'-0" H. FDTN. WALL - #6 REBAR @ 48" O.C.

DRAWING ISSUE DATES	
Existing Conditions	1/20/18
Progress Set	6/9/18
Permit Set	6/14/18
Construction Set	00.00.0000

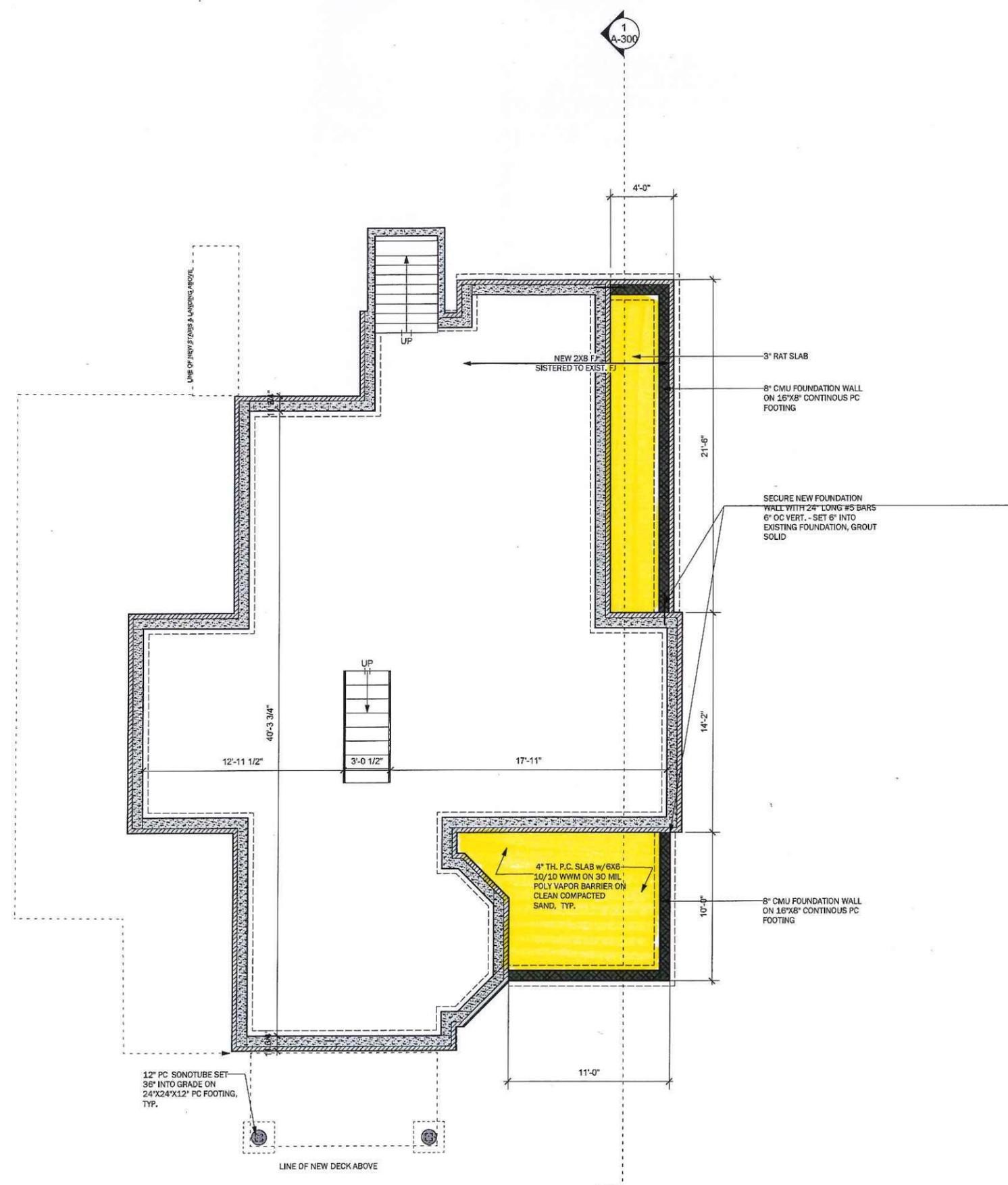
REVISION DATES	

Drawing Legend:	
---	Wall To Be Removed
---	Wall To Remain
---	New Wall
---	New Foundation Wall
---	Lines Above
---	Lines Below
---	Guidelines
---	Fence
101	Door Tag
102	Window Tag
1003	Section X, Sheet A-XXX
1004	Detail Tag
1005	Elevation Tag
1006	Interior Elevation Tag

**FOKINEConstruction**  
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Fax. 631-749-3510  
www.FokineBuild.com

**COHEN RESIDENCE**  
12 Spring Garden Avenue  
Shelter Island, NY 11965

Code Sheet  
Scale: 1/4" = 1'-0"  
All Drawings Printed on 11x17  
Paper Scale is 50% Scale Above



1 Foundation Plan  
Scale: 1/4" = 1'-0"

DRAWING ISSUE DATES	
Existing Conditions	1/20/16
Progress Set	6/9/16
Permit Set	8/14/16
Construction Set	00.00.0000
REVISION DATES	

**Drawing Legend:**

- Wall To Be Removed
- ==== Wall To Remain
- ===== New Wall
- ===== New Foundation Wall
- Lines Above
- Lines Below
- Guidelines
- Fence
- 101 Door Tag
- 102 Window Tag
- 1000 Section X, Sheet A-XXX
- 1000 Detail Tag
- 1000 Elevation Tag
- 1000 Interior Elevation Tag

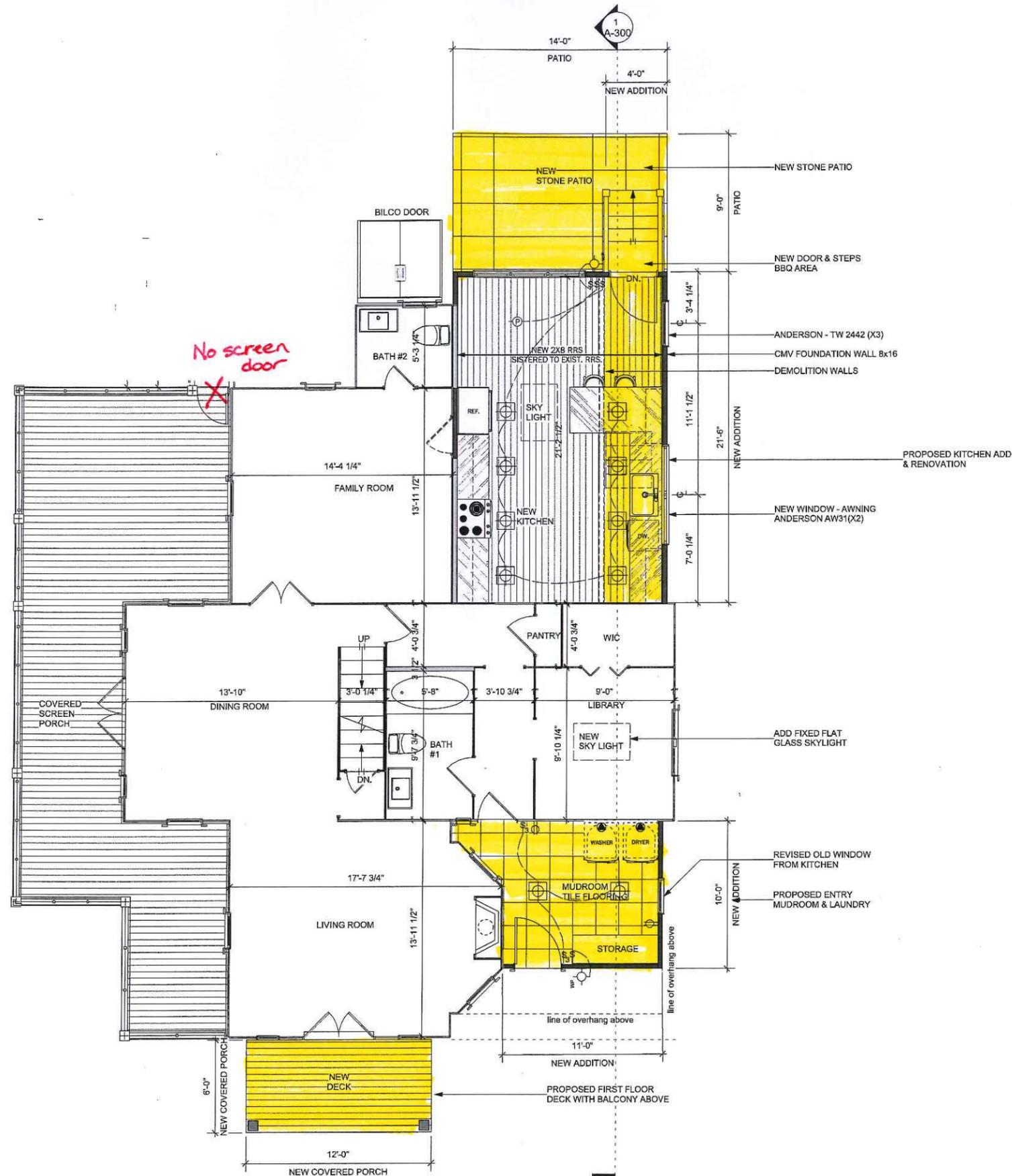
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Foundation Plan  
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**A-100**

Electrical Legend	
⊙	Single Pole Switch
⊙ <sub>TD</sub>	Single Pole Switch With Dimmer
⊙ <sub>TS</sub>	Three Way Switch
⊕	Duplex Receptacle Outlet
⊕ <sub>4</sub>	Quad Receptacle Outlet
⊕ <sub>220V</sub>	220 V Receptacle Outlet
⊕ <sub>GFI</sub>	GFI Duplex Receptacle Outlet
⊕ <sub>WP</sub>	Weatherproof Duplex Receptacle Outlet
⊕ <sub>WP</sub>	Wall Mounted Fixture
⊕ <sub>WP</sub>	Wall Mounted Fixture
—	Cable Connection
⊕	Flood Light
⊕	Recessed Ceiling Fixture
⊕	Surface Mounted Box for Hanging Pendant
⊕	Dedicated Appliance Outlet



1 First Floor Plan  
Scale: 1/4" = 1'-0"

DRAWING ISSUE DATES	
Existing Conditions	1/20/16
Progress Set	6/9/16
Permit Set	8/14/16
Construction Set	00.00.0000

REVISION DATES	

Drawing Legend:	
---	Wall To Be Removed
---	Wall To Remain
---	New Wall
---	New Foundation Wall
---	Lines Above
---	Lines Below
---	Guidelines
---	Fence
⊕101	Door Tag
⊕101	Window Tag
⊕1000	Section X, Sheet A-XXX
⊕1000	Detail Tag
⊕1000	Elevation Tag
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First Floor Plan  
 Scale: 1/4" = 1'-0"  
 All Drawings Printed on 11x17  
 Paper Scale is 50% Scale Above

**A-101**

DRAWING ISSUE DATES	
Existing Conditions	1/20/16
Progress Set	6/9/16
Permit Set	6/14/16
Construction Set	00.00.0000

REVISION DATES	



3 North Elevation  
Scale: 1/4" = 1'-0"

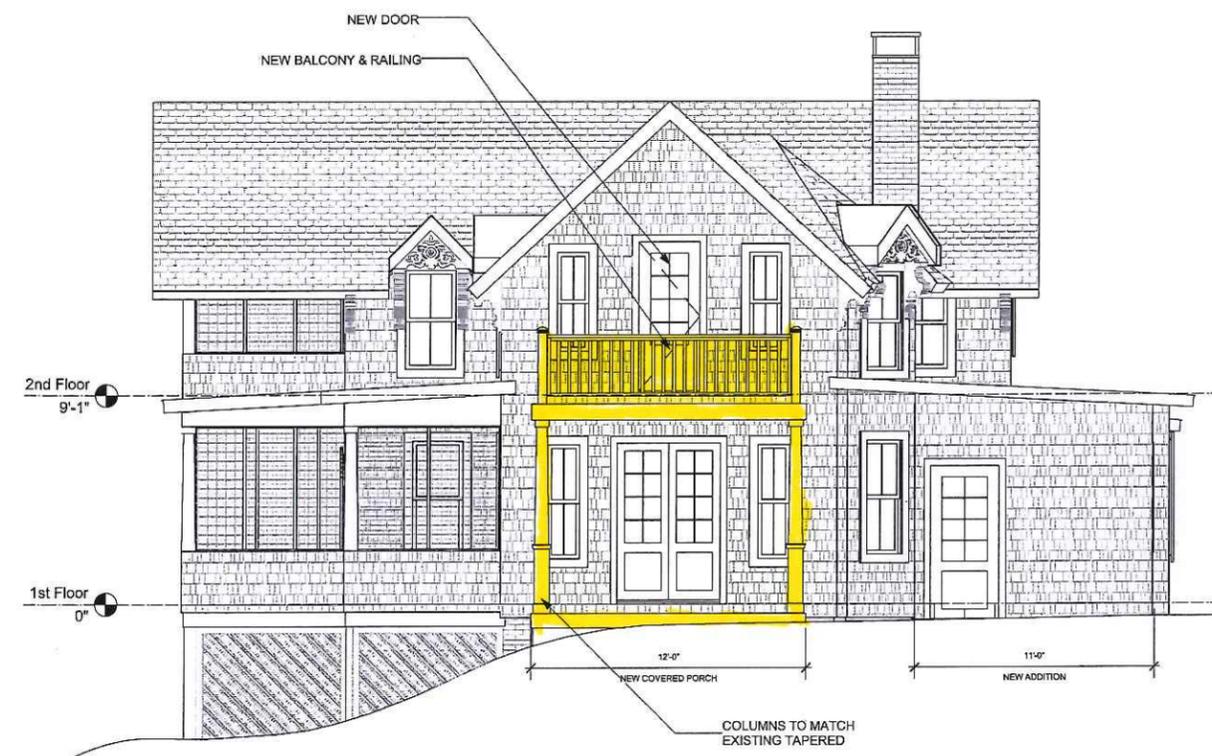
**Drawing Legend:**

- Wall To Be Removed
- - - - Wall To Remain
- New Wall
- New Foundation Wall
- Lines Above
- Lines Below
- Guidelines
- Fence
- 101 Door Tag
- 102 Window Tag
- 103 Section X, Sheet A-XXX
- 104 Detail Tag
- 105 Elevation Tag
- 106 Interior Elevation Tag



2 West Elevation  
Scale: 1/4" = 1'-0"

*No screen door for porch*



1 East Elevation  
Scale: 1/4" = 1'-0"

*Refer to hand-drawn elevations for balcony/porch detailing*

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Elevations  
Scale: 1/4" = 1'-0"  
All Drawings Printed on 11x17  
Paper Scale is 50% Scale Above

**A-200**

DRAWING ISSUE DATES	
Existing Conditions	1/20/16
Progress Set	6/9/16
Permit Set	6/14/16
Construction Set	00.00.0000

REVISION DATES	



1 Building Section  
Scale: 1/4" = 1'-0"

**Drawing Legend:**

- Wall To Be Removed
- Wall To Remain
- New Wall
- New Foundation Wall
- Lines Above
- Lines Below
- Guidelines
- Fence
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- 102 Window Tag
- 1000 Section X, Sheet A-XXX
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Building Sections  
 Scale: 1/4" = 1'-0"  
 All Drawings Printed on 11x17  
 Paper Scale is 50% Scale Above

**A-300**



PROPOSED FRONT ELEVATION

TOLERANCES (EXCEPT AS NOTED)	REVISIONS		COHEN - 12 SPRING GARDEN AVE SHELTER ISLAND, N.Y. 11965		
	NO	DATE	BY	DRAWN BY	SCALE
DECIMAL		7/8/16	CF	FORKINE CONSTRUCTION 631-749-2130	1/4" = 1'-0"
+-				CHK'D.	DATE
FRACTIONAL				TRACED	APP'D.
+-					
ANGULAR					
+-					
					DRAWING NO. FROM ELEV.



PROPOSED SOUTH ELEV.

TOLERANCES (EXCEPT AS NOTED)	REVISIONS			COHEN- 12 SPRING GARDEN AVE SHEPHERD ISLAND, N.Y. 11965		
	NO	DATE	BY	DRAWN BY	SCALE	MATERIAL
DECIMAL		7/8/16	CR	FOKINE CONSTRUCTION	1/4" = 1'-0"	
+ -				631-749-2130		
FRACTIONAL				CHK'D.	DATE	DRAWING NO.
+ -					6/20/16	SOUTH ELEV.
ANGULAR				TRACED	APP'D.	
+ -						